



- NOTES
1. All dimensions are in millimetres unless noted otherwise.
 2. All levels are shown in millimetres unless noted otherwise.
 3. Do not scale from the drawing. Use figured dimensions only.
 4. Any discrepancies to be reported immediately to the Designer/Engineer.
 5. This drawing to be read in conjunction with all relevant Architects, engineers, subcontractors and specialists drawings and specifications.

ALL DIMENSIONS TO BE CHECKED ON SITE: Contractor to check and verify all building and site dimensions. The Contractor is to comply in all respects with the current Building Regulations whether specifically stated on this drawing or not. This drawing must be read and checked against any other specialist drawings provided & manufacturer's recommendations. Tabled quantities are for guidance only all specialist Consultants & Contractors to check and verify. Any discrepancies in all of the above must be reported to the Design team prior to installation

CDM - If we are appointed as a Designer or Principal Designer, for the Pre-Construction Phase only, we can only carry out our duties for that phase. This means that we will give all relevant design information for consideration in the Construction Phase Plan / Health & Safety File to the Client at the end of the Pre-Construction Phase. It will be the Client's responsibility to pass that information on to the Principal Contractor and any other Contractors or Designers, which the client subsequently appoints.

 Effectuated area 14,625m²
 Ownership area

rev.	drawn	checked	approved	description

Client **FABCO Holdings Limited**
 Felindre Meadows, CF35 5PZ

Project **Pencoed Technology Park (Site E)**

Title **Park Location Plan**

360AD Limited
 Architectural Design & Visualisation Consultancy
 First floor 29 Bocam Park
 Pencoed Bridgend CF35 5LJ
 T 01656330997
 email enquiries@360ad.co.uk
 web www.360ad.co.uk

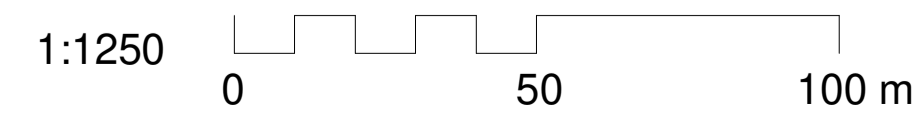


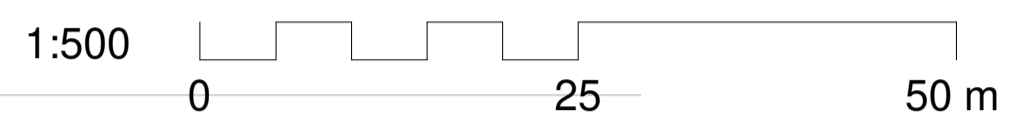
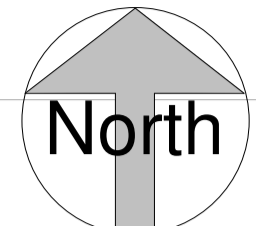
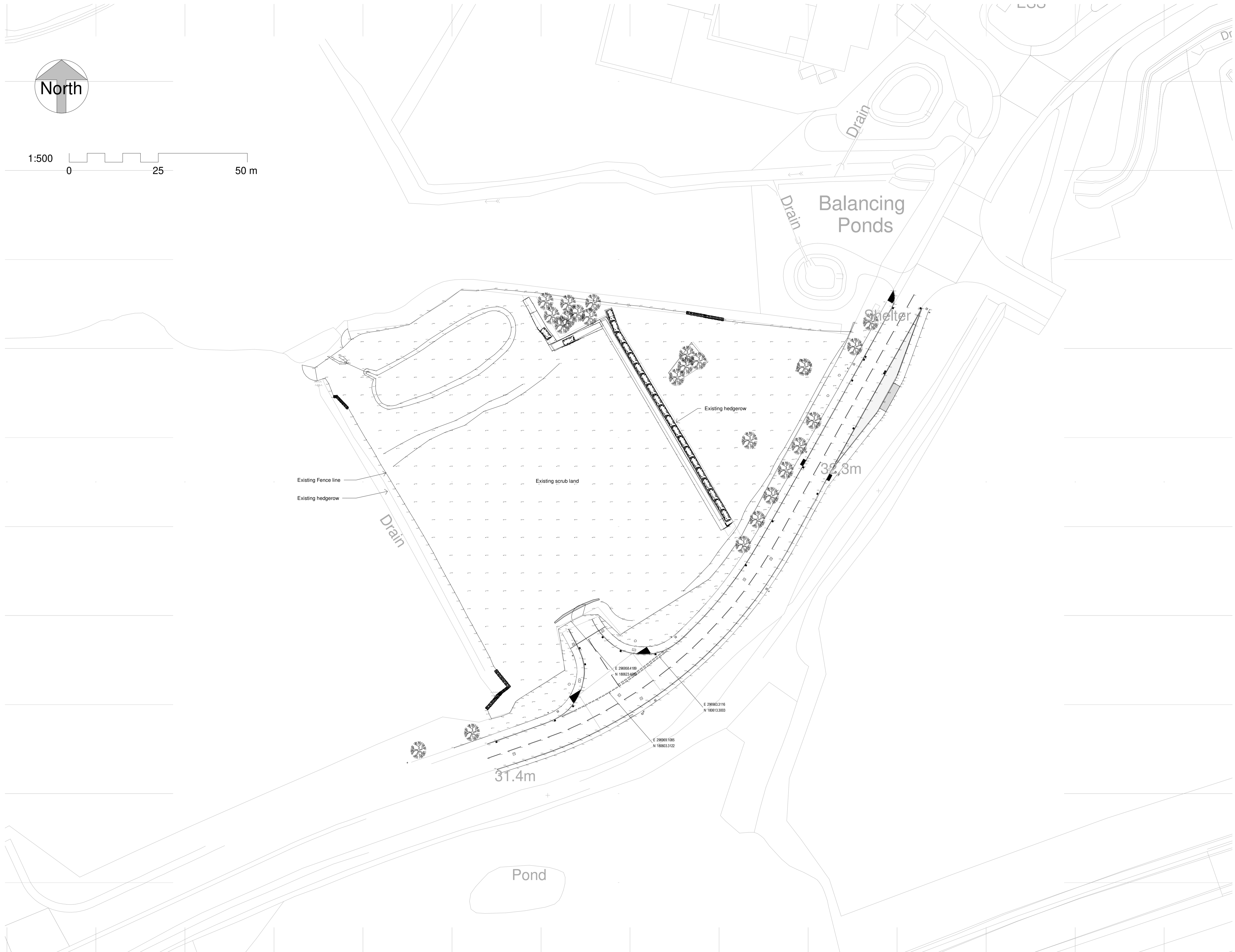
date	drawn	checked	approved
March 2023	JSM	ND	Approver

scale @ A1
 1 : 1250
 Project number 21-010

status	System Number	drg. no.	rev.
Planning	21-010-120-f	A103	

Ordnance Survey (c) Crown Copyright 2022. All rights reserved. Licence number 100022432





NOTES

- All dimensions are in millimetres unless noted otherwise.
- All levels are shown in millimetres unless noted otherwise.
- Do not scale from the drawing. Use figured dimensions only.
- Any discrepancies to be reported immediately to the Designer/Engineer.
- This drawing to be read in conjunction with all relevant Architects, engineers, subcontractors and specialists drawings and specifications.

ALL DIMENSIONS TO BE CHECKED ON SITE: Contractor to check and verify all building and site dimensions. The Contractor is to comply in all respects with the current Building Regulations whether specifically stated on this drawing or not. This drawing must be read and checked against any other specialist drawings provided & manufacturer's recommendations. Tabled quantities are for guidance only all specialist Consultants & Contractors to check and verify. Any discrepancies in all of the above must be reported to the Design team prior to installation.

CDM - If we are appointed as a Designer or Principal Designer, for the Pre-Construction Phase only, we can only carry out our duties for that phase. This means that we will give all relevant design information for consideration in the Construction Phase Plan / Health & Safety File to the Client at the end of the Pre-Construction Phase. It will be the Client's responsibility to pass that information on to the Principal Contractor and any other Contractors or Designers, which the client subsequently appoints.

PLANNING

rev.	drawn	checked	approved	description
Client FABCO Holdings Limited				
Felindre Meadows, CF35 5PZ				
Project Pencoed Technology Park (Site E)				
Title Existing Site Plan				
360AD Limited Architectural Design & Visualisation Consultancy First floor 29 Bocam Park Pencoed Bridgend CF35 5LJ T 01455633097 email enquiries@360ad.co.uk web www.360ad.co.uk				
date	drawn	checked	approved	
March 2023	JSM	ND	GF	
scale @ A1		Project number		
1 : 500		21-010		
status	System Number	drw. no.	rev.	
Planning	21-010-120-f	A101		

SAB FEATURES IN ACCORDANCE WITH THE CIVIL ENGINEERING CONSULTANT'S DESIGN

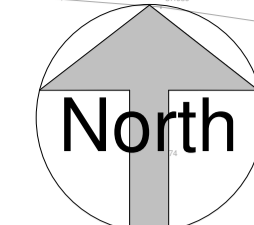
BIODIVERSITY ENHANCEMENT FEATURES/ADAPPTIONS AND BUFFER ZONES IN ACCORDANCE WITH THE ECOLOGIST RECOMMENDATIONS

BIODIVERSITY ENHANCEMENT FEATURES/ADAPPTIONS AND BUFFER ZONES IN ACCORDANCE WITH THE ECOLOGIST RECOMMENDATIONS

ACTIVE TRAVEL ACCESS AND ROAD DESIGN TO MEET HIGHWAYS STANDARDS IN ACCORDANCE WITH THE CIVIL ENGINEERING CONSULTANT'S DESIGN

LAYOUT INDICATING THE ROOF FORMATS

ENTRANCE ALTERATION IN ACCORDANCE WITH THE TRANSPORT CONSULTANT'S DESIGN



NOTES

- All dimensions are in millimetres unless noted otherwise.
- All levels are shown in millimetres unless noted otherwise.
- Do not scale from the drawing. Use figured dimensions only.
- Any discrepancies to be reported immediately to the Designer/Engineer.
- This drawing to be read in conjunction with all relevant Architects, engineers, subcontractors and specialists drawings and specifications.

ALL DIMENSIONS TO BE CHECKED ON SITE: Contractor to check and verify all building and site dimensions. The Contractor is to comply in all respects with the current Building Regulations whether specifically stated on this drawing or not. This drawing must be read and checked against any other specialist drawings provided & manufacturer's recommendations. Tabled quantities are for guidance only all specialist Consultants & Contractors to check and verify. Any discrepancies in all of the above must be reported to the Design team prior to installation

CDM - If we are appointed as a Designer or Principal Designer, for the Pre-Construction Phase only, we can only carry out our duties for that phase. This means that we will give all relevant design information for consideration in the Construction Phase Plan / Health & Safety File to the Client at the end of the Pre-Construction Phase. It will be the Client's responsibility to pass that information on to the Principal Contractor and any other Contractors or Designers, which the client subsequently appoints.

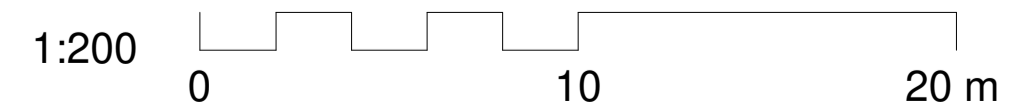
6 BLOCK

5b BLOCK

5a BLOCK

Key Plan

	Topography Survey
	16 No. Units.
	25 No. Parking Spaces
	32 No. Bicycle Spaces (2 per Unit)
	16 No. 1100 litre Bins (1 per Unit)



**PLANNING ONLY
CLIENT APPROVED AREA**

rev.	drawn	checked	approved	description
D	ND	ND	ND	25.09.23 Added further planning notes
C	ND	ND	ND	11.07.23 Unit 5b/6 position swap
B	JSM	ND	ND	22.06.23 Buildings added. Notes updated
A	JSM	ND	ND	31.05.23 Parking spaces amended. Developed area adjusted

Client **FABCO Holdings Limited**
Felindre Meadows, CF35 5PZ

Project **Pencoed Technology Park (Site E)**

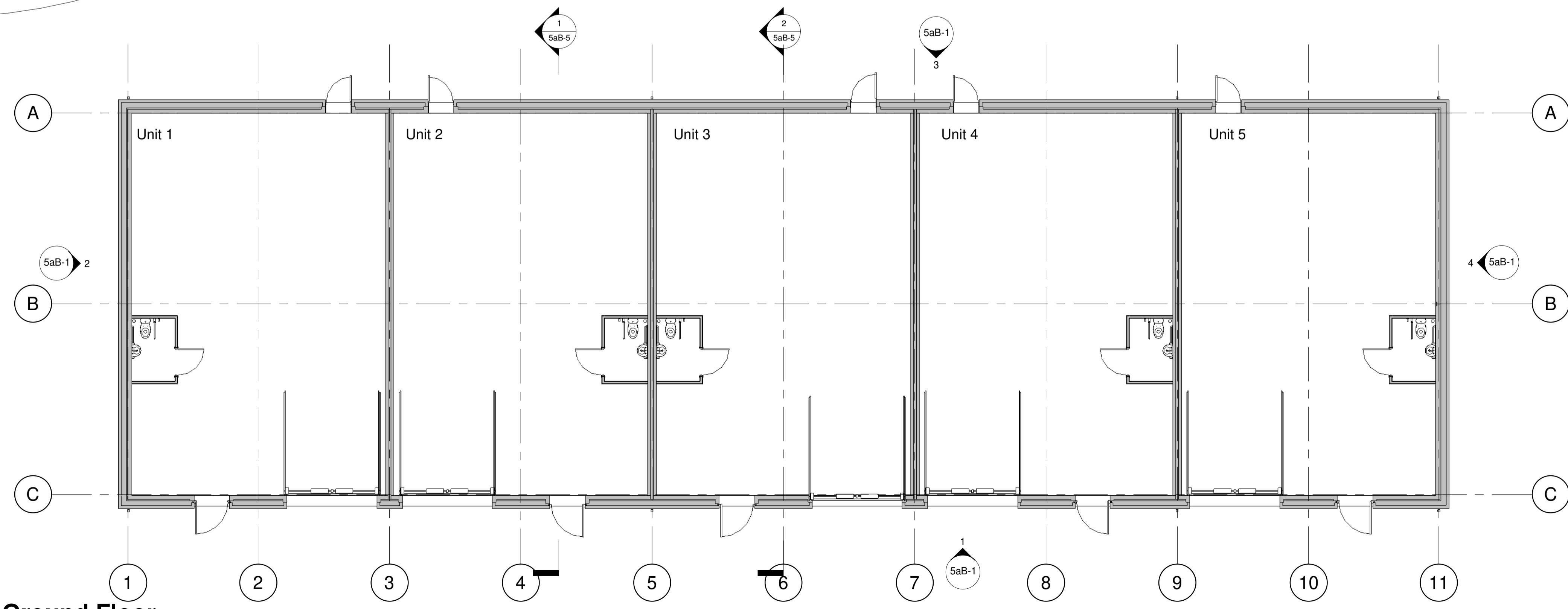
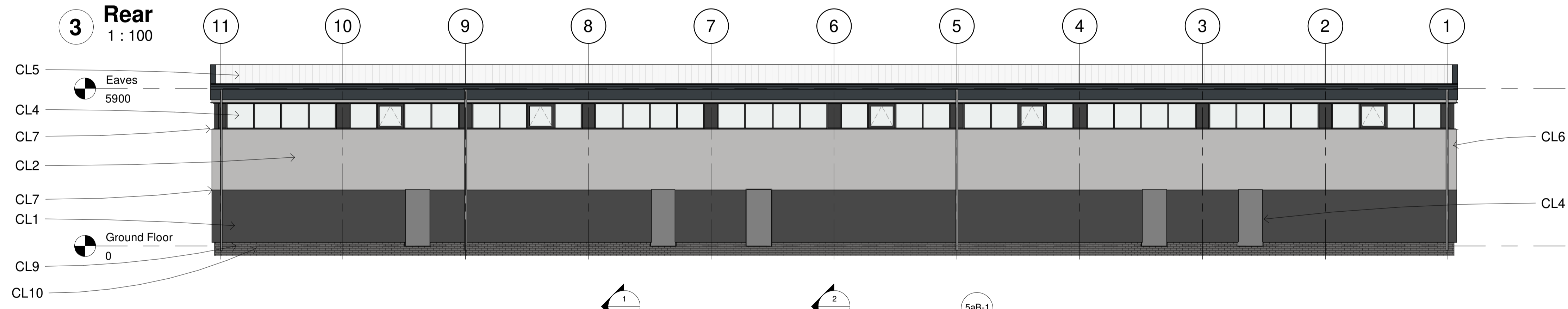
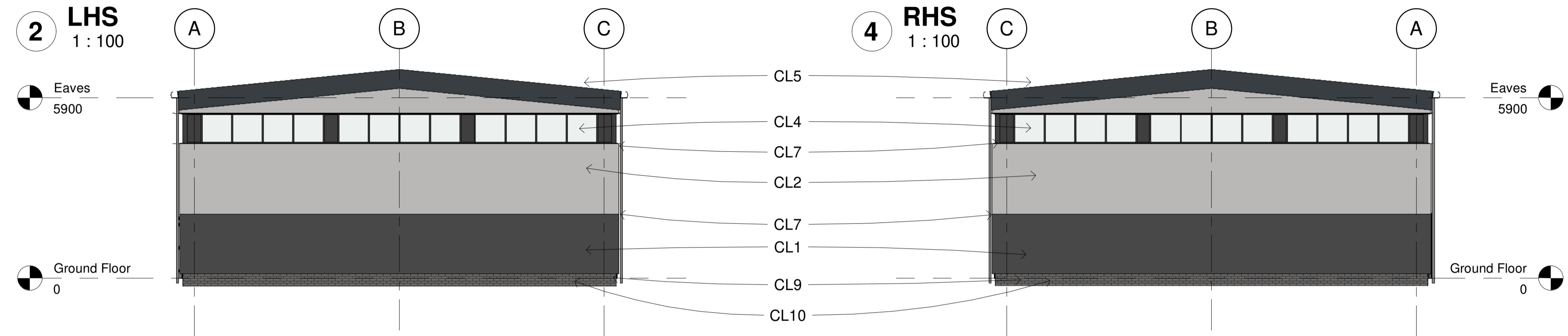
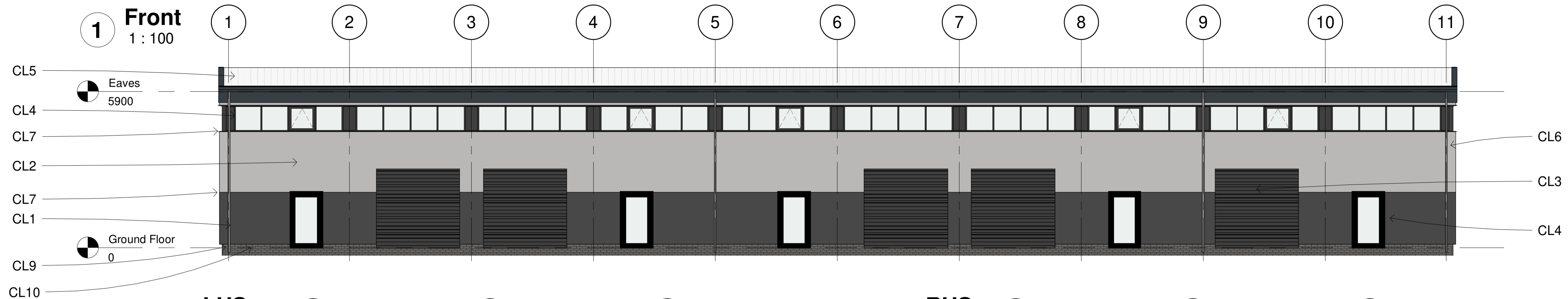
Title **Proposed Site Plan**

<p>360AD Limited Architectural Design & Visualisation Consultancy First floor 29 Bocca Park Pencoed Bridgend CF35 5LJ T 0145530997 email enquiries@360ad.co.uk web www.360ad.co.uk</p>			
date	drawn		checked
March 2023	JSM	ND	Approver
scale @ A1	As indicated		Project number 21-010
status	System Number	drg. no.	rev.
Planning	21-010-120-f	A102	D

- NOTES
- All dimensions are in millimetres unless noted otherwise.
 - All levels are shown in millimetres unless noted otherwise.
 - Do not scale from the drawing. Use figured dimensions only.
 - Any discrepancies to be reported immediately to the Designer/Engineer.
 - This drawing to be read in conjunction with all relevant Architects, engineers, subcontractors and specialists drawings and specifications.

ALL DIMENSIONS TO BE CHECKED ON SITE: Contractor to check and verify all building and site dimensions. The Contractor is to comply in all respects with the current Building Regulations whether specifically stated on this drawing or not. This drawing must be read and checked against any other specialist drawings provided & manufacturer's recommendations. Tabled quantities are for guidance only all specialist Consultants & Contractors to check and verify. Any discrepancies in all of the above must be reported to the Design team prior to installation.

CDM - If we are appointed as a Designer or Principal Designer, for the Pre-Construction Phase only, we can only carry out our duties for that phase. This means that we will give all relevant design information for consideration in the Construction Phase Plan / Health & Safety File to the Client at the end of the Pre-Construction Phase. It will be the Client's responsibility to pass that information on to the Principal Contractor and any other Contractors or Designers, which the client subsequently appoints.



- KEY**
- CL1 - Cladding: Metal cladding. Composite trapezoidal to contractors selection laid Vertically. Colour: Dark Grey Ref: Basalt RAL 7012 (100/120mm thick spectrum finished Kingspan KS1000 RW composite wall cladding panels horizontally laid and incorporating matching pressed metal sill flashing all by specialist cladding sub-contractor and affording a U-value of 0.20 W/m²K.
 - CL2 - Cladding: Metal cladding. Composite trapezoidal to contractors selection laid Vertically. Colour: Light Grey Ref: Obsidian RAL 9007 (100/120mm thick spectrum finished Kingspan KS1000 RW composite wall cladding panels vertically laid and incorporating matching pressed metal sill flashing all by specialist cladding sub-contractor.
 - CL3 - Doors: Sectional Overhead doors. Colour Basalt RAL 7012
 - CL4 - Windows, Doors & curtain wall: Polyester powder coated finish with double glazing. Colour: Basalt RAL 7012. Glazing to be low emissivity glazed. All door ironmongery to be supplied in accordance with Part M of the building regulations.
 - CL5 - Roofing: Composite trapezoidal to contractors selection laid horizontal. Colour: Dark Grey Ref: Basalt RAL 7012 (100/120mm thick Spectrum finished Kingspan KS1000 RW composite roofing cladding panels) with pressed metal flashing's and integral gutter Colour: Basalt RAL 7012
 - CL6 - Polyester powder coated aluminium Downpipes. Colour: Dark Grey Ref: Basalt RAL 7012
 - CL7 - Continuous perimeter pressed metal 'sill' between interface of cladding configurations.
 - CL8 - Continuous perimeter pressed metal 'vertical trim' between interface of cladding configurations
 - CL9 - Continuous pressed metal 'sill' above 150mm brickwork splash course at base of vertically laid cladding
 - CL10 - Blue/Grey engineering brick plinth

PLANNING ONLY

rev.	drawn	chkd.	appd.	date	description
				23/06/23	

Client **FABCO Holdings Limited**
 Building 544, Dragon Way St Athan Aerospace
 Business Park Vale of Glamorgan, CF62 4AF

Project **Felindra Court - Pencoeed
 Technology Park (Site E)**

Title **5a Unit Plan & Elevations**

360AD Limited
 Architectural Design
 & Visualisation Consultancy
 First floor 29 Boccam Park
 Pencoeed Bridgend CF35 5LJ
 T 01656330997
 email enquiries@360ad.co.uk
 web www.360ad.co.uk



date	drawn	checked	approved
JUNE 2023	ND	ND	23/06/23

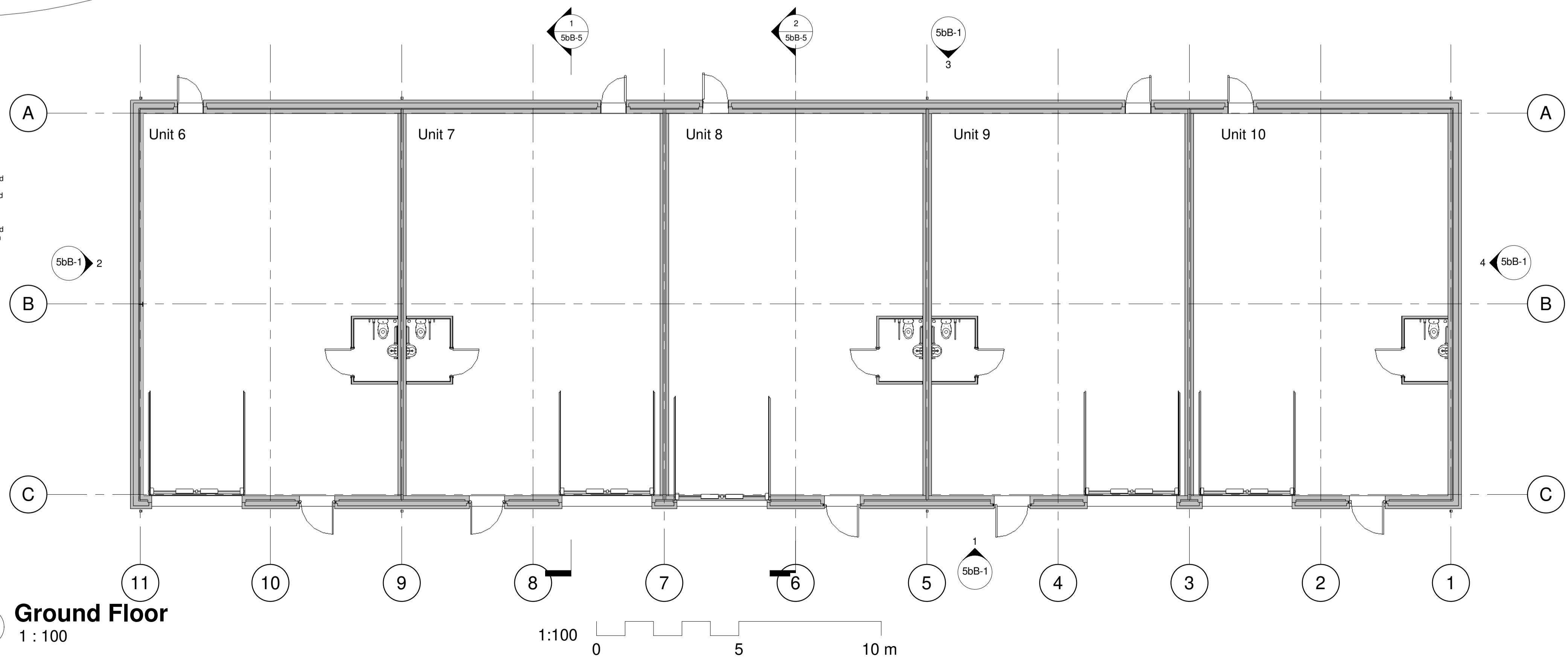
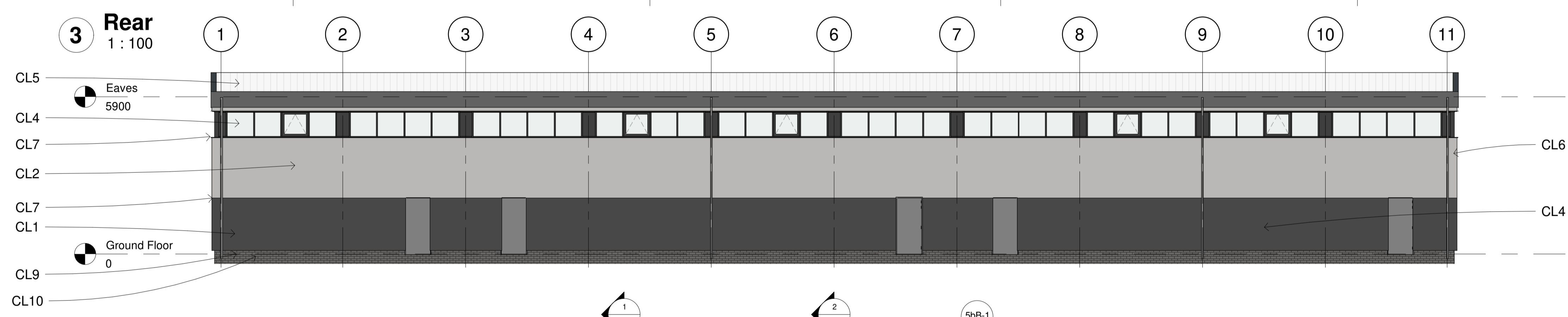
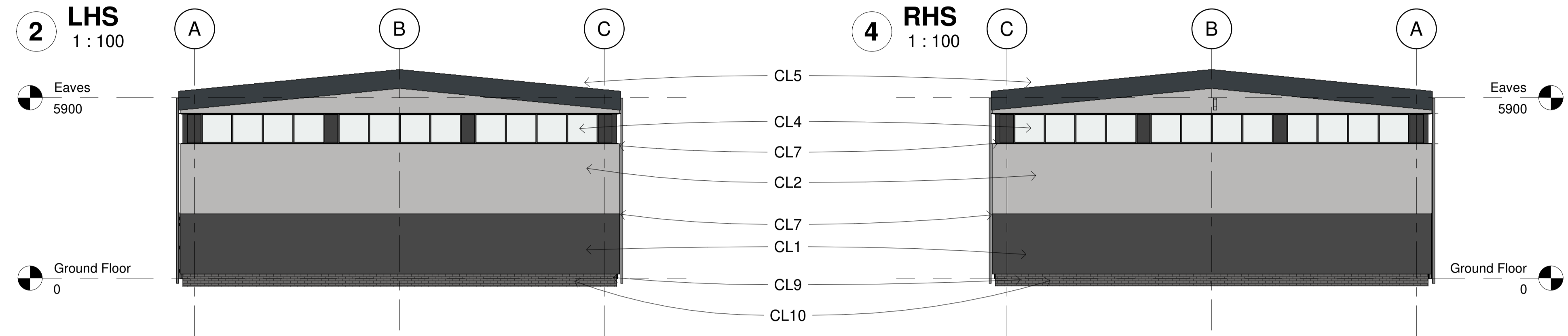
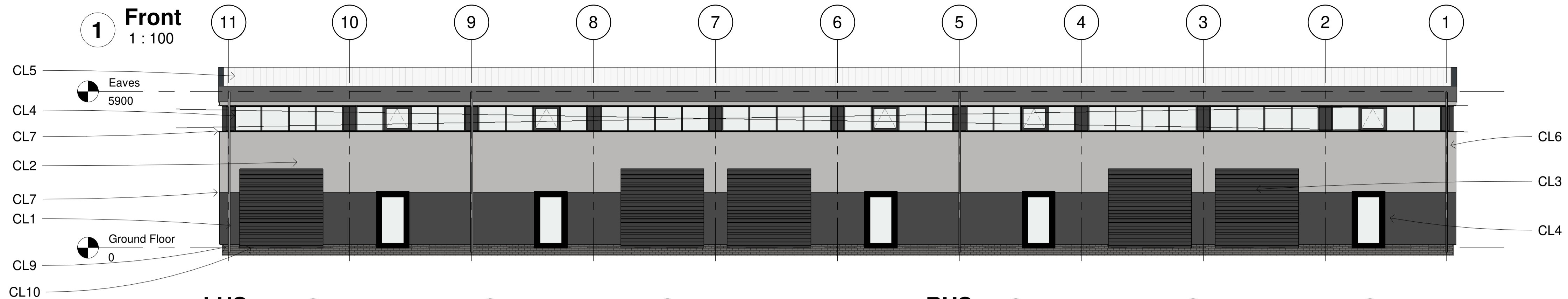
scale @ A1 1 : 100 Project number 21-010

status	System Number	drg. no.	rev.
Planning	21-010-5a Block Planning-120	5aB-1	-

- NOTES
- All dimensions are in millimetres unless noted otherwise.
 - All levels are shown in millimetres unless noted otherwise.
 - Do not scale from the drawing. Use figured dimensions only.
 - Any discrepancies to be reported immediately to the Designer/Engineer.
 - This drawing to be read in conjunction with all relevant Architects, engineers, subcontractors and specialists drawings and specifications.

ALL DIMENSIONS TO BE CHECKED ON SITE: Contractor to check and verify all building and site dimensions. The Contractor is to comply in all respects with the current Building Regulations whether specifically stated on this drawing or not. This drawing must be read and checked against any other specialist drawings provided & manufacturer's recommendations. Tabled quantities are for guidance only all specialist Consultants & Contractors to check and verify. Any discrepancies in all of the above must be reported to the Design team prior to installation.

CDM - If we are appointed as a Designer or Principal Designer, for the Pre-Construction Phase only, we can only carry out our duties for that phase. This means that we will give all relevant design information for consideration in the Construction Phase Plan / Health & Safety File to the Client at the end of the Pre-Construction Phase. It will be the Client's responsibility to pass that information on to the Principal Contractor and any other Contractors or Designers, which the client subsequently appoints.

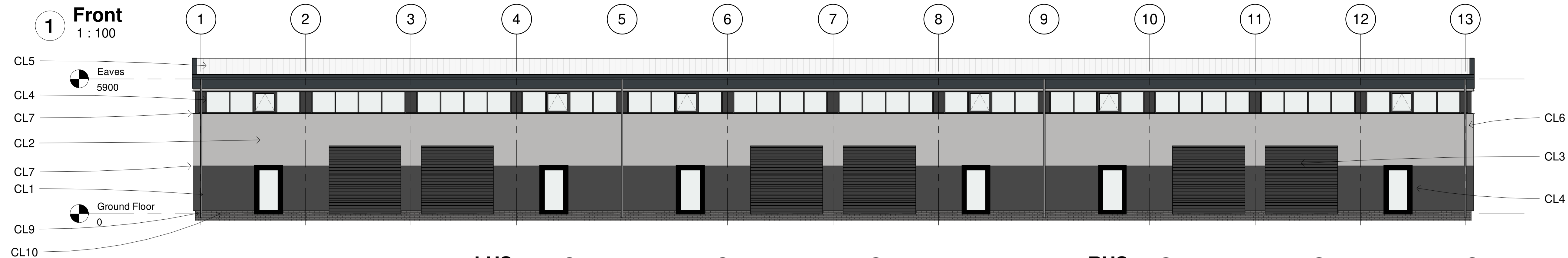


- KEY**
- CL1 - Cladding: Metal cladding. Composite trapezoidal to contractors selection laid Vertically. Colour: Dark Grey Ref: Basalt RAL 7012 (100/120mm thick spectrum finished Kingspan KS1000 RW composite wall cladding panels horizontally laid and incorporating matching pressed metal sill flashing all by specialist cladding subcontractor and affording a U-value of 0.20 W/m²K.
 - CL2 - Cladding: Metal cladding. Composite trapezoidal to contractors selection laid Vertically. Colour: Light Grey Ref: Obsidian RAL 9007 (100/120mm thick spectrum finished Kingspan KS1000 RW composite wall cladding panels vertically laid and incorporating matching pressed metal sill flashing all by specialist cladding subcontractor.
 - CL3 - Doors: Sectional Overhead doors. Colour Basalt RAL 7012
 - CL4 - Windows, Doors & curtain wall: Polyester powder coated finish with double glazing. Colour: Basalt RAL 7012. Glazing to be low emissivity glazed. All door ironmongery to be supplied in accordance with Part M of the building regulations.
 - CL5 - Roofing: Composite trapezoidal to contractors selection laid horizontal. Colour: Dark Grey Ref: Basalt RAL 7012 (100/120mm thick Spectrum finished Kingspan KS1000 RW composite roofing cladding panels) with pressed metal flashing's and integral gutter Colour: Basalt RAL 7012
 - CL6 - Polyester powder coated aluminium Downpipes. Colour: Dark Grey Ref: Basalt RAL 7012
 - CL7 - Continuous perimeter pressed metal 'sill' between interface of cladding configurations.
 - CL8 - Continuous perimeter pressed metal 'vertical trim' between interface of cladding configurations
 - CL9 - Continuous pressed metal 'sill' above 150mm brickwork splash course at base of vertically laid cladding
 - CL10- Blue/Grey engineering brick plinth

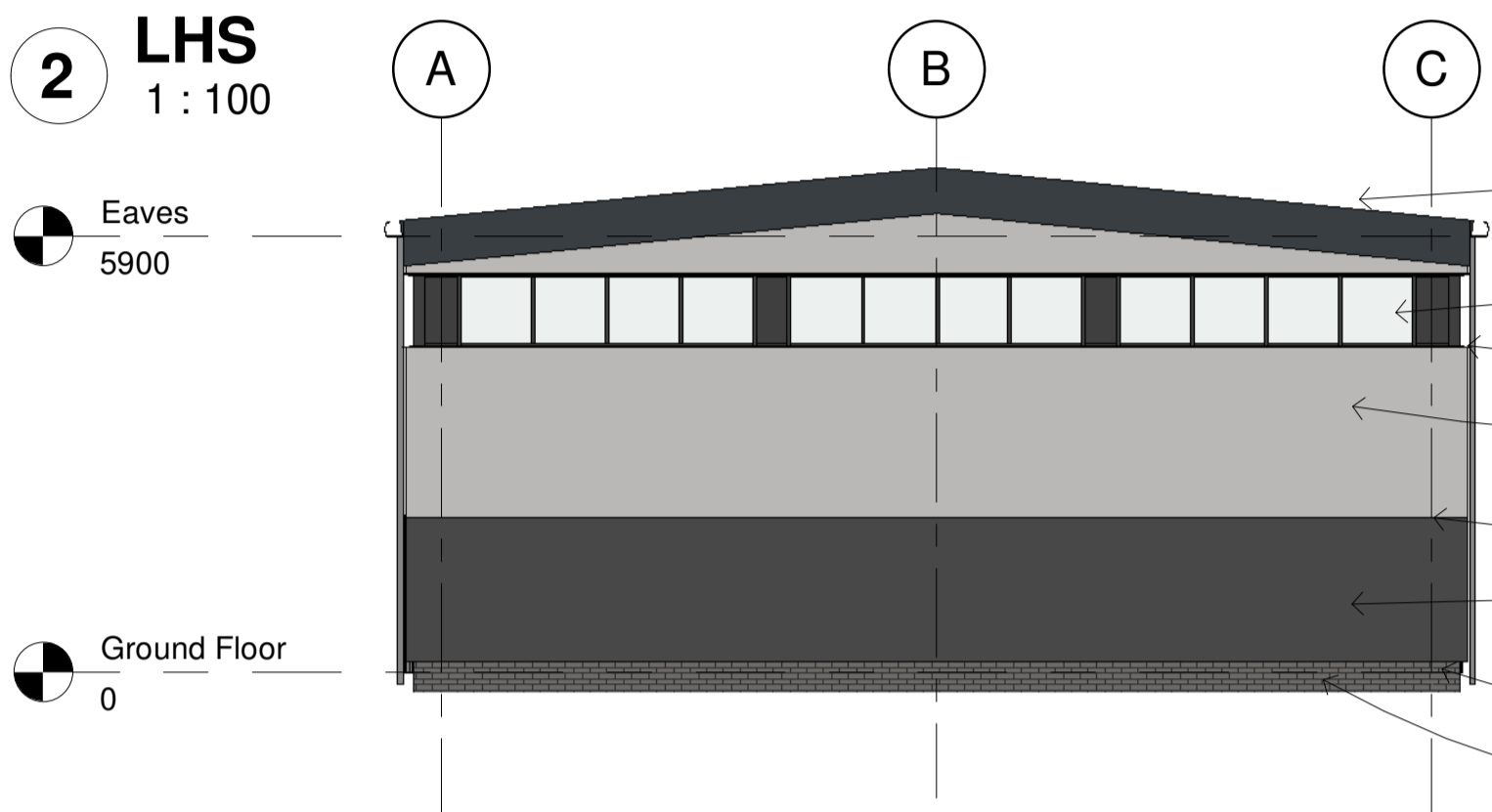
PLANNING ONLY

rev.	drawn	chkd.	appd.	date	description
				23/06/23	
Client FABCO Holdings Limited					
Building 544, Dragon Way St Athan Aerospace Business Park Vale of Glamorgan, CF62 4AF					
Project Felindra Court - Pencoeed Technology Park (Site E)					
Title 5b Unit Plan & Elevations					
360AD Limited Architectural Design & Visualisation Consultancy First floor 29 Bocam Park Pencoeed - Bridgend - CF35 5LJ T 01656330997 email enquiries@360ad.co.uk web www.360ad.co.uk					
date	drawn	checked	approved		
JUNE 2023	ND	ND	23/06/23		
scale @ A1	1 : 100		Project number	21-010	
status	System Number	drg. no.	rev.		
Planning	21-010-5b Block Planning-120	5bB-1	-		

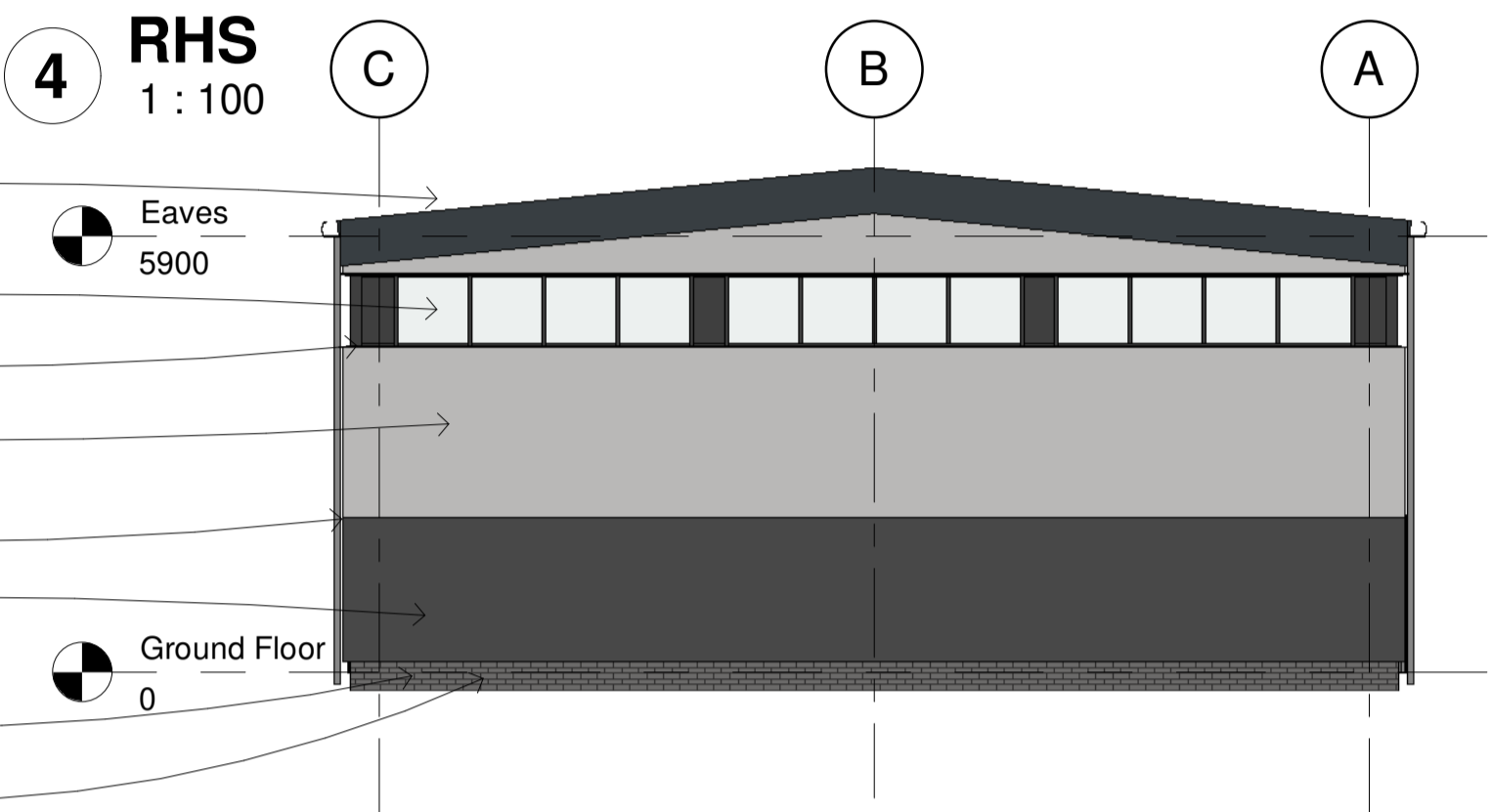
1 Front
1 : 100



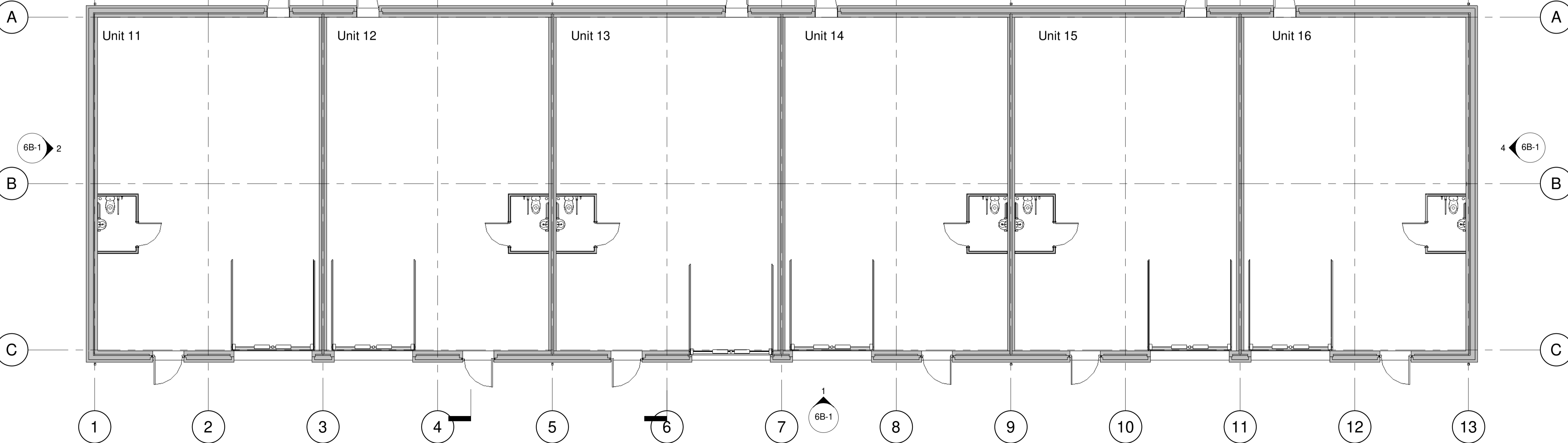
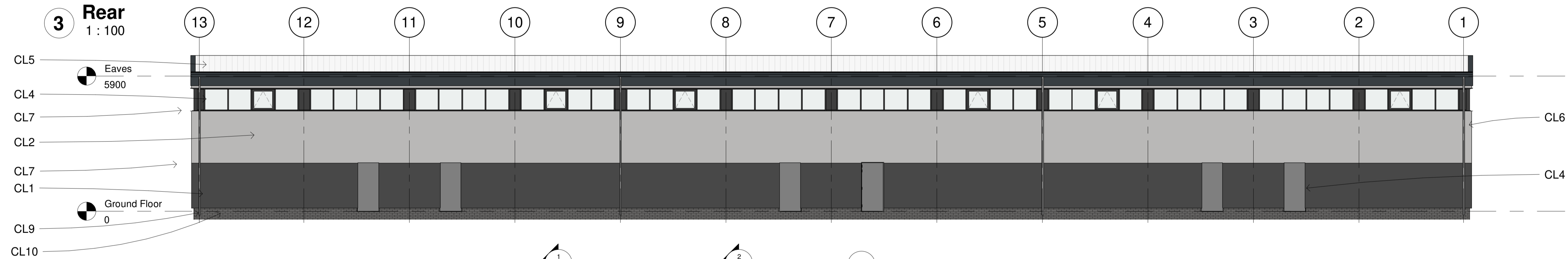
2 LHS
1 : 100



4 RHS
1 : 100



3 Rear
1 : 100



5 Ground Floor
1 : 100

KEY

CL1 - Cladding: Metal cladding. Composite trapezoidal to contractors selection laid Vertically. Colour: Dark Grey Ref: Basalt RAL 7012 (100/120mm thick spectrum finished Kingspan KS1000 RW composite wall cladding panels horizontally laid and incorporating matching pressed metal sill flashing all by specialist cladding sub-contractor and affording a U-value of 0.20 W/m²K

CL2 - Cladding: Metal cladding. Composite trapezoidal to contractors selection laid Vertically. Colour: Light Grey Ref: Obsidian RAL 9007 (100/120mm thick spectrum finished Kingspan KS1000 RW composite wall cladding panels vertically laid and incorporating matching pressed metal sill flashing all by specialist cladding sub-contractor.

CL3 - Doors: Sectional Overhead doors. Colour: Basalt RAL 7012

CL4 - Windows, Doors & curtain wall: Polyester powder coated finish with double glazing. Colour: Basalt RAL 7012. Glazing to be low emissivity glazed. All door ironmongery to be supplied in accordance with Part M of the building regulations.

CL5 - Roofing: Composite trapezoidal to contractors selection laid horizontal. Colour: Dark Grey Ref: Basalt RAL 7012 (100/120mm thick Spectrum finished Kingspan KS1000 RW composite roofing cladding panels) with pressed metal flashing's and integral gutter Colour: Basalt RAL 7012

CL6 - Polyester powder coated aluminium Downpipes. Colour: Dark Grey Ref: Basalt RAL 7012

CL7 - Continuous perimeter pressed metal 'sill' between interface of cladding configurations.

CL8 - Continuous perimeter pressed metal 'vertical trim' between interface of cladding configurations

CL9 - Continuous pressed metal 'sill' above 150mm brickwork splash course at base of vertically laid cladding

CL10 - Blue/Grey engineering brick plinth

NOTES

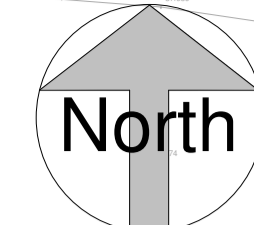
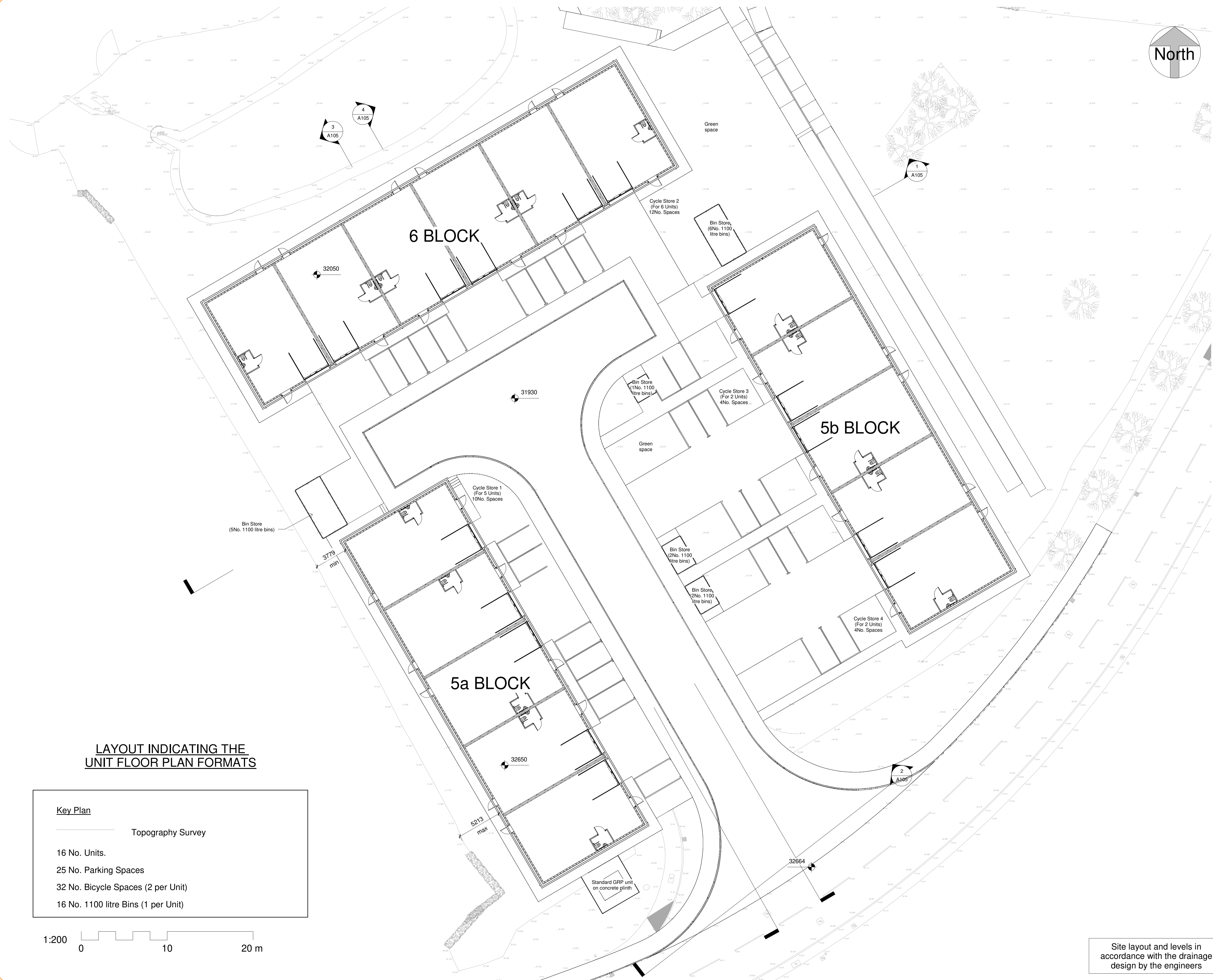
- All dimensions are in millimetres unless noted otherwise.
- All levels are shown in millimetres unless noted otherwise.
- Do not scale from the drawing. Use figured dimensions only.
- Any discrepancies to be reported immediately to the Designer/Engineer.
- This drawing to be read in conjunction with all relevant Architects, engineers, subcontractors and specialists drawings and specifications.

ALL DIMENSIONS TO BE CHECKED ON SITE: Contractor to check and verify all building and site dimensions. The Contractor is to comply in all respects with the current Building Regulations whether specifically stated on this drawing or not. This drawing must be read and checked against any other specialist drawings provided & manufacturer's recommendations. Tabled quantities are for guidance only all specialist Consultants & Contractors to check and verify. Any discrepancies in all of the above must be reported to the Design team prior to installation

CDM - If we are appointed as a Designer or Principal Designer, for the Pre-Construction Phase only, we can only carry out our duties for that phase. This means that we will give all relevant design information for consideration in the Construction Phase Plan / Health & Safety File to the Client at the end of the Pre-Construction Phase. It will be the Client's responsibility to pass that information on to the Principal Contractor and any other Contractors or Designers, which the client subsequently appoints.

PLANNING ONLY

rev.	drawn	checked	approved	date	description
A	ND	ND	ND	20/06/23	Minor area adjustment
Client FABCO Holdings Limited Building 544, Dragon Way St Athan Aerospace Business Park Vale of Glamorgan, CF62 4AF					
Project Felindra Court - Pencoeed Technology Park (Site E)					
Title 6 Unit Plan & Elevations					
360AD Limited Architectural Design & Visualisation Consultancy First floor 29 Bocam Park Pencoeed Bridgend CF35 5LJ T 01456330997 email enquiries@360ad.co.uk web www.360ad.co.uk					
date	drawn	checked	approved		
JUNE 2023	ND	ND	20/06/23		
scale @ A1	1 : 100		Project number	21-010	
status	System Number	drg. no.	rev.		
Planning	21-010-6 Block Planning-120	6B-1	A		



NOTES

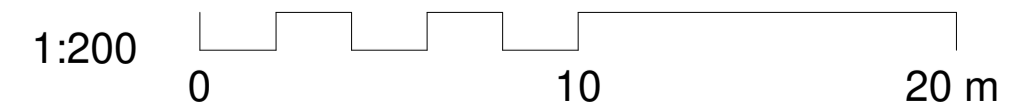
- All dimensions are in millimetres unless noted otherwise.
- All levels are shown in millimetres unless noted otherwise.
- Do not scale from the drawing. Use figured dimensions only.
- Any discrepancies to be reported immediately to the Designer/Engineer.
- This drawing to be read in conjunction with all relevant Architects, engineers, subcontractors and specialists drawings and specifications.

ALL DIMENSIONS TO BE CHECKED ON SITE: Contractor to check and verify all building and site dimensions. The Contractor is to comply in all respects with the current Building Regulations whether specifically stated on this drawing or not. This drawing must be read and checked against any other specialist drawings provided & manufacturer's recommendations. Tabled quantities are for guidance only all specialist Consultants & Contractors to check and verify. Any discrepancies in all of the above must be reported to the Design team prior to installation

CDM - If we are appointed as a Designer or Principal Designer, for the Pre-Construction Phase only, we can only carry out our duties for that phase. This means that we will give all relevant design information for consideration in the Construction Phase Plan / Health & Safety File to the Client at the end of the Pre-Construction Phase. It will be the Client's responsibility to pass that information on to the Principal Contractor and any other Contractors or Designers, which the client subsequently appoints.

LAYOUT INDICATING THE UNIT FLOOR PLAN FORMATS

Key Plan	
	Topography Survey
	16 No. Units.
	25 No. Parking Spaces
	32 No. Bicycle Spaces (2 per Unit)
	16 No. 1100 litre Bins (1 per Unit)



Site layout and levels in accordance with the drainage design by the engineers

**PLANNING ONLY
CLIENT APPROVED AREA**

rev.	drawn	checked	approved	date	description
F	ND	ND	ND	7.12.23	Note change
E	JSM	ND	ND	20.11.23	Road design updated. Bin Store relocated
D	ND	ND	ND	25.09.23	Added floor levels in accordance with the Vale Drainage plan
C	ND	ND	ND	11.07.23	Unit 5b/6 position swap
B	ND	ND	ND	6.07.23	Entrance adjustment (16no units - 11/7/23)
A	ND	ND	ND	31.05.23	Unit area adjusted

Client **FABCO Holdings Limited**
Felindre Meadows, CF35 5PZ

Project **Pencoed Technology Park (Site E)**

Title **Proposed Cut Site Plan**

360AD Limited
Architectural Design & Visualisation Consultancy
First floor 29 Boccam Park
Pencoed Bridgend CF35 5LJ
T 01656330997
email enquiries@360ad.co.uk
web www.360ad.co.uk

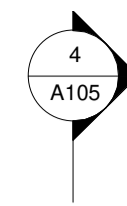


date	drawn	checked	approved
March 2023	JSM	ND	GF

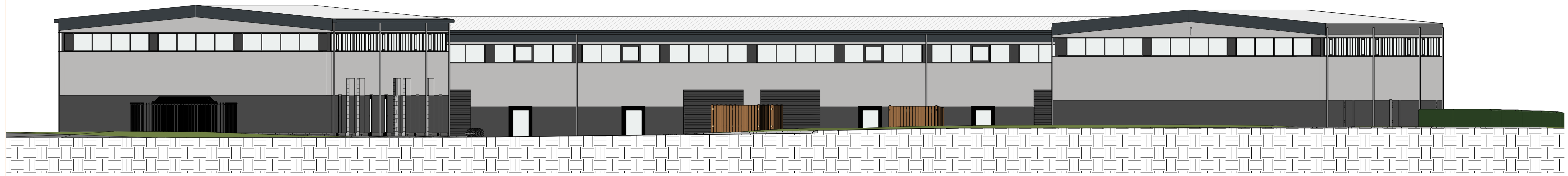
scale @ A1

As indicated	Project number
	21-010

status	System Number	drg. no.	rev.
Planning	21-010-120-f	A104	F



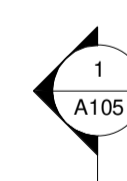
1 Site Section 1
1 : 100



2 Site Section 2
1 : 100

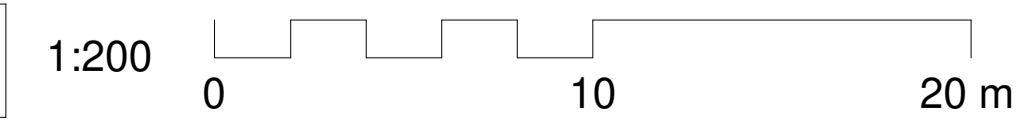


3 Site Section 3
1 : 100



4 Site Section 4
1 : 100

Levels in accordance with the drainage design by the engineers



NOTES

- All dimensions are in millimetres unless noted otherwise.
- All levels are shown in millimetres unless noted otherwise.
- Do not scale from the drawing. Use figured dimensions only.
- Any discrepancies to be reported immediately to the Designer/Engineer.
- This drawing to be read in conjunction with all relevant Architects, engineers, subcontractors and specialists drawings and specifications.

ALL DIMENSIONS TO BE CHECKED ON SITE: Contractor to check and verify all building and site dimensions. The Contractor is to comply in all respects with the current Building Regulations whether specifically stated on this drawing or not. This drawing must be read and checked against any other specialist drawings provided & manufacturer's recommendations. Tabled quantities are for guidance only all specialist Consultants & Contractors to check and verify. Any discrepancies in all of the above must be reported to the Design team prior to installation.

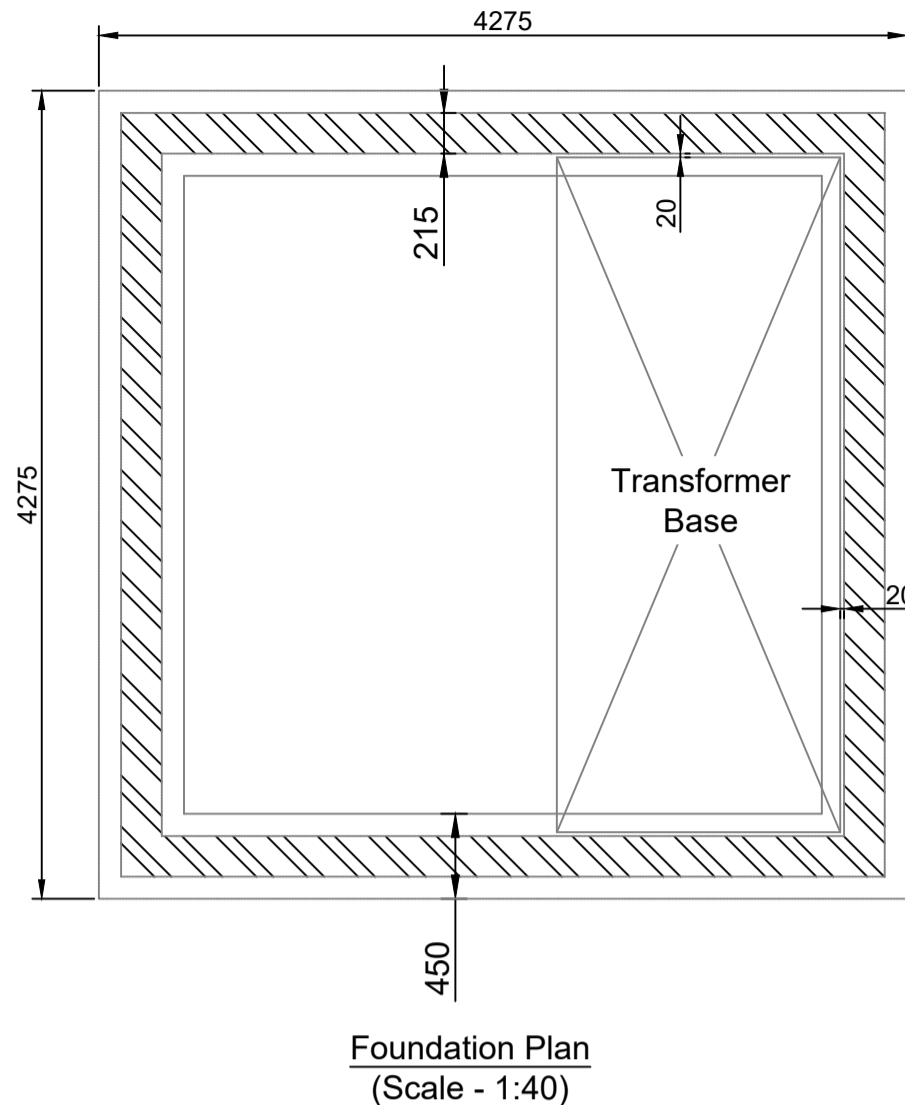
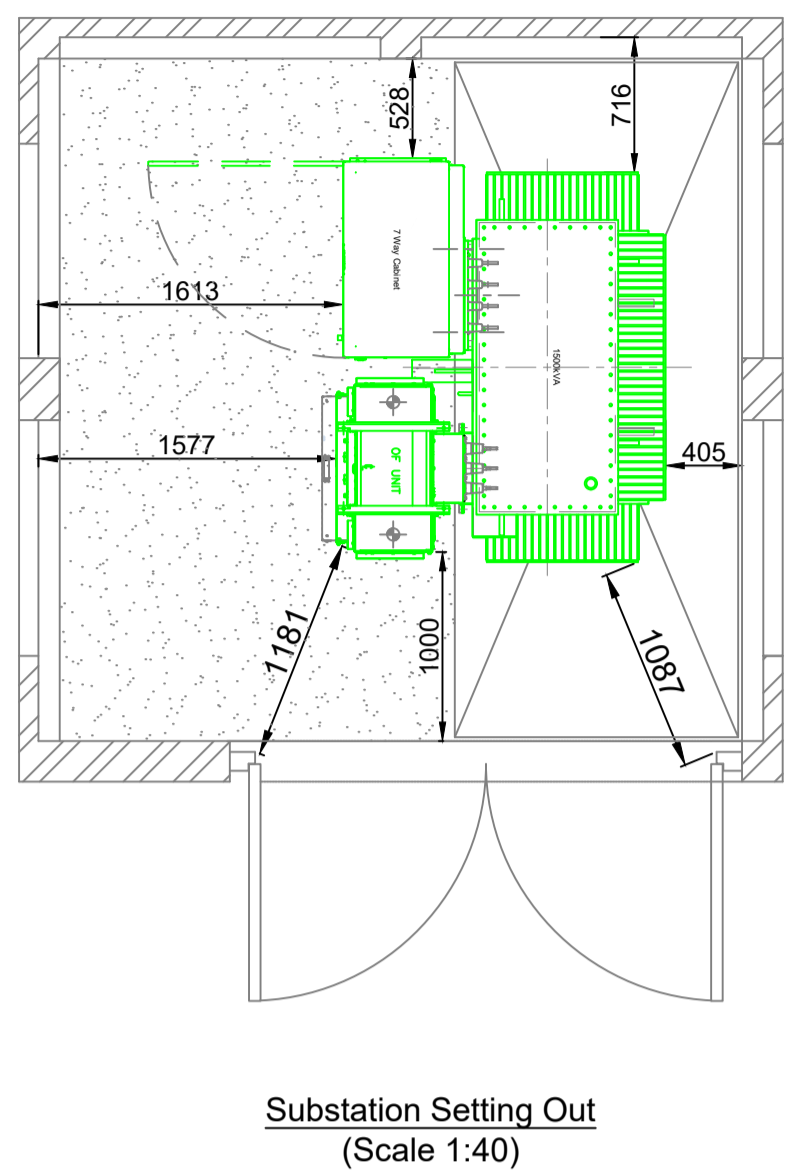
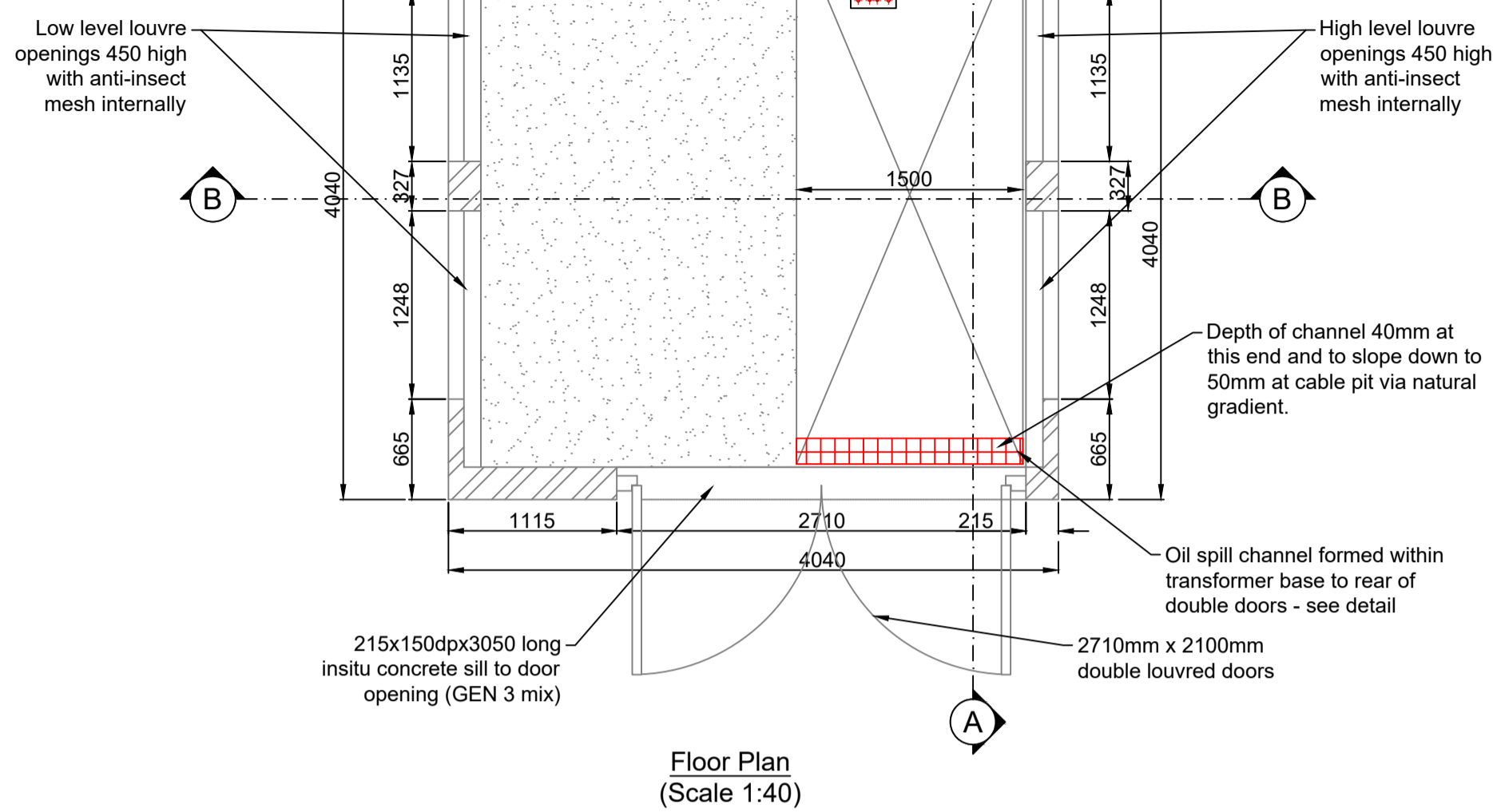
CDM - If we are appointed as a Designer or Principal Designer, for the Pre-Construction Phase only, we can only carry out our duties for that phase. This means that we will give all relevant design information for consideration in the Construction Phase Plan / Health & Safety File to the Client at the end of the Pre-Construction Phase. It will be the Client's responsibility to pass that information on to the Principal Contractor and any other Contractors or Designers, which the client subsequently appoints.

rev.	drawn	chkd.	appvd.	description
Client FABCO Holdings Limited Felindre Meadows, CF35 5PZ				
Project Pencoed Technology Park (Site E)				
Title Proposed Site Sections				
360AD Limited Architectural Design & Visualisation Consultancy First floor 29 Boccam Park Pencoed Bridgend CF35 5LJ T 0165633097 email enquiries@360ad.co.uk web www.360ad.co.uk				
date	drawn	checked	approved	
March 2023	JSM	ND	AB	
scale @ A1		Project number		
1 : 100		21-010		
status	System Number	drg. no.	rev.	
Planning	21-010-120-f	A105		



A B C D E F G H I J

1



All builderswork to be provided by clients developer/builder unless expressly stated otherwise:-

- General Notes:**
- This drawing is not to be scaled and no variation to the stated dimensions or materials specified will be permitted without prior written consent from UK Power Solutions.
 - The running of heating, gas, telecoms, water and other services through or under the substation area will be not permitted.
 - The developer will be responsible for obtaining all planning consents and building regulation approvals before construction work commences.
 - All dimensions are in millimetres unless noted otherwise
 - All levels shown are in metres
 - The contractor shall be responsible for the accuracy of setting-out on site and the fabrication of materials
 - All work is to be carried out in accordance with current building regulations, british standards & codes of practice
 - The contractor is to establish the location of all existing services and inform the supervising officer prior of commencing any building activities
 - The contractor must assume that any existing unexpected cables and/or other services found within the working zone are live and must seek immediate advice from the engineer before proceeding.
 - Concrete mix design shall suit the following ground conditions:
 - Design chemical class dc- subject to confirmation following receipt of ground investigation report
 - apm details = none.
 - also refer to ground investigation report.
 - min cement content 325kg/m³
 - max cement content 400kg/m³
 - max water / cement ratio 0.55

- Finishes:**
- Floor to receive 2 coats of grey concrete floor paint.
 - Walls and ceiling to receive 2 coats of white emulsion for dust sealing.
 - Doors and louvres to be powder coated, exact colour to be determined.
- Earthing:**
- See UKP12272 - DWG101 for Details.
- Infill to area around Cables:**
- The area in front of the transformer base shall be sand filled and covered with a minimum of 150mm of stone chippings or coarse gravel once the electrical works have been completed.

Door and Louvre Suppliers:
 Sunray Engineering Ltd
 Cable Flag drg: Rev A, dated 30 June 2016
 Kingsnorth Industrial Estate
 Wotton Road
 Ashford, Kent. TN23 8LL
 Tel: 01233 639 039

TS Designs Ltd
 James House
 Mere Park
 Dedmere Road
 Marlow, SL7 1FJ
 Tel: 08456 032 230
 Email: enquiries@ts-designs.com
 david.steele@ts-designs.com
 www.ts-designs.com

- Substation Location:**
- It is important that the position and orientation of the substation is discussed and agreed with the UK Power Solutions project designer prior to the commencement of any building works on site.
 - Substations should always be incorporated into the corner of a site if possible to allow ventilation to free air on two elevations so as to promote good cross ventilation.
 - Substations should be located adjacent to a public highway or reached by a private dedicated access way with full control and associated legal rights.
 - 24 Hour unimpeded SSE/Last Mile personnel access is required at all times. 365 days of the year. Any doors or gates on the access route are to be locked in standard SSE/Last Mile Locking Suite.
 - Access via 24hr security is unacceptable.
 - Consideration is to be given at the design stage if adjacent soft landscaping is proposed - planting schemes must allow adequate provision for future plant growth without compromising access or ventilation through doors and louvres.
 - Substation doors must not encroach over public footpath.
 - Following installation of the earthing and cables, the ground between the edge of the enclosure foundation and area boundary shall be covered by either a minimum of 100mm concrete or tarmac/sub base with a finished level 50mm below the top of the enclosure foundation. Where concrete is used, an expansion joint shall be installed abutting the enclosure foundation.

- Foundations, Concrete and Reinforcement:**
- To clients structural engineer detail to sustain the plant loadings of 6000 kgs max.
 - Concrete shall be to compressive class C25/30 to BS8500.
 - Mass concrete base with one layer of A252 anti crack mesh in top-min cover 50mm.
 - The concrete shall be poured in a continuous manner until shuttering is filled. Brickwork or blockwork installed within the shuttering, forming part of the final base is not permitted without the permission of SSE/Last Mile.
 - Surface shall be float finished with finished tolerances, length way, width way and across the diagonals of 2mm.
 - 215 thickness dense concrete block or engineering brick wall below ground level.
 - The bearing pressure must be sufficient to prevent foundation slippage or failure.

Roof:

- As per detailed design.

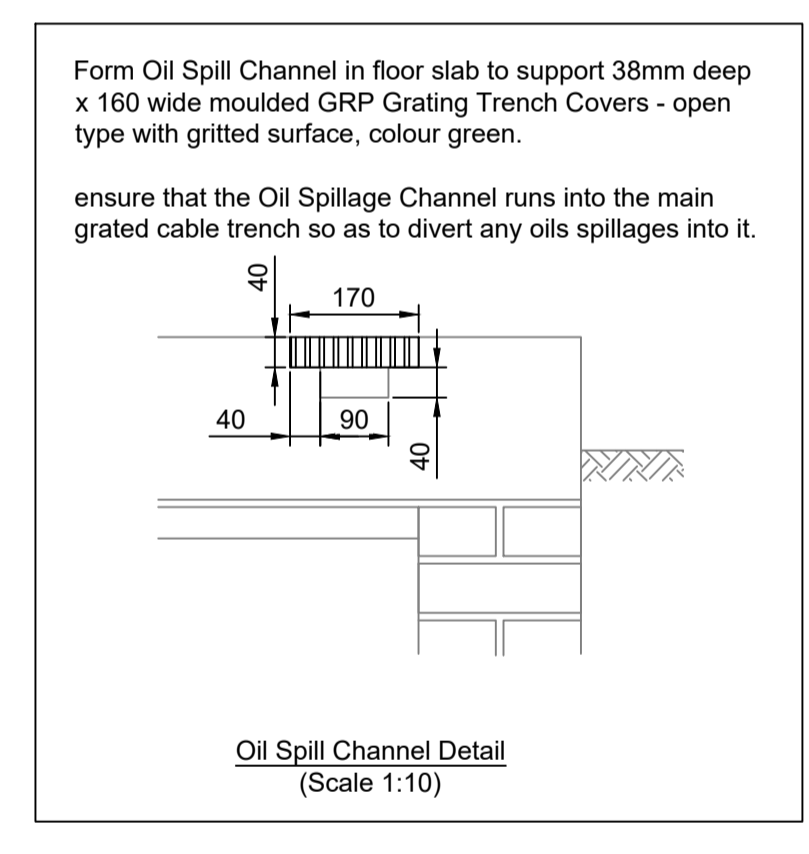
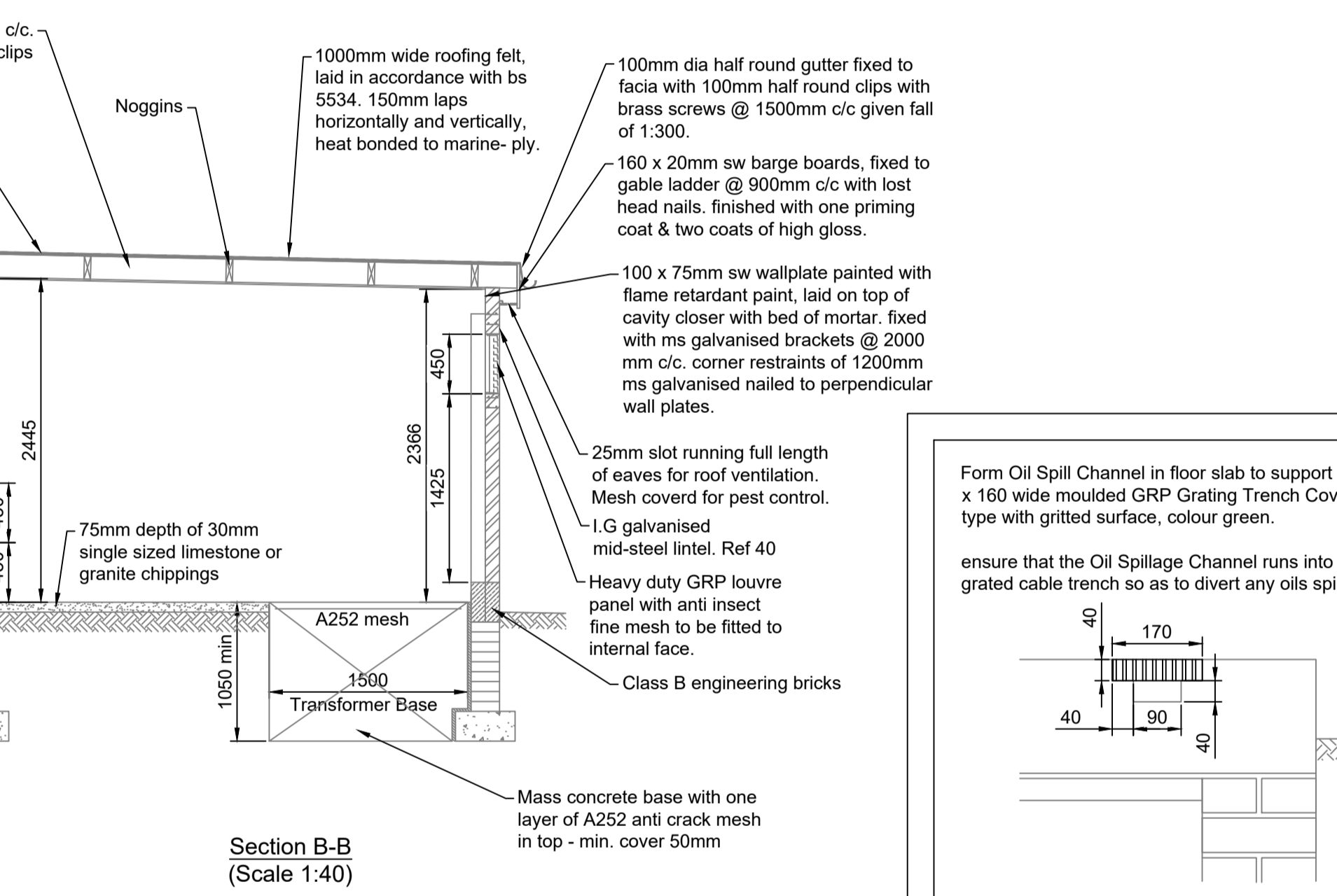
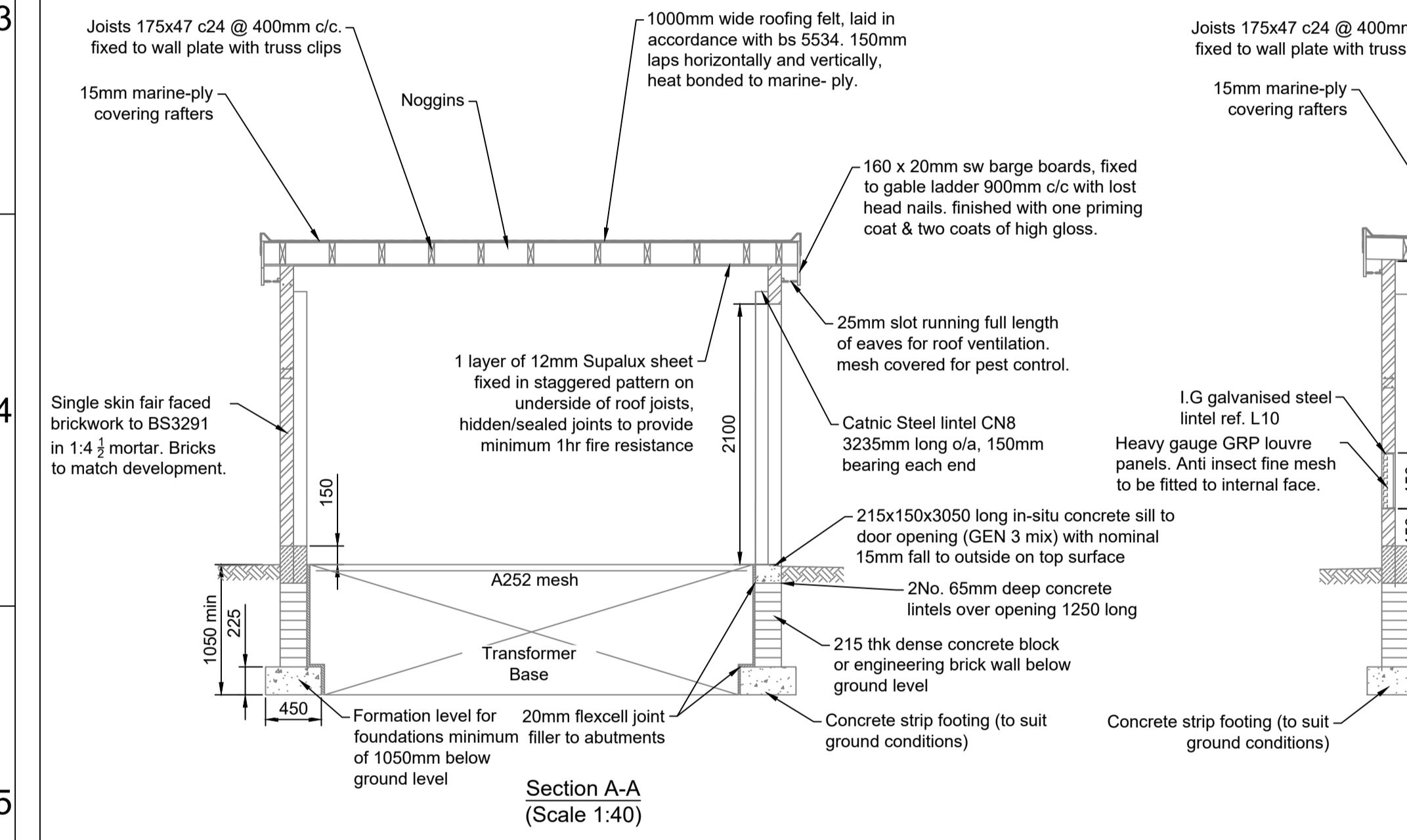
Walls:

- Single skin fair faced brickwork to BS3291 in 1:4 mortar. Bricks to match development.

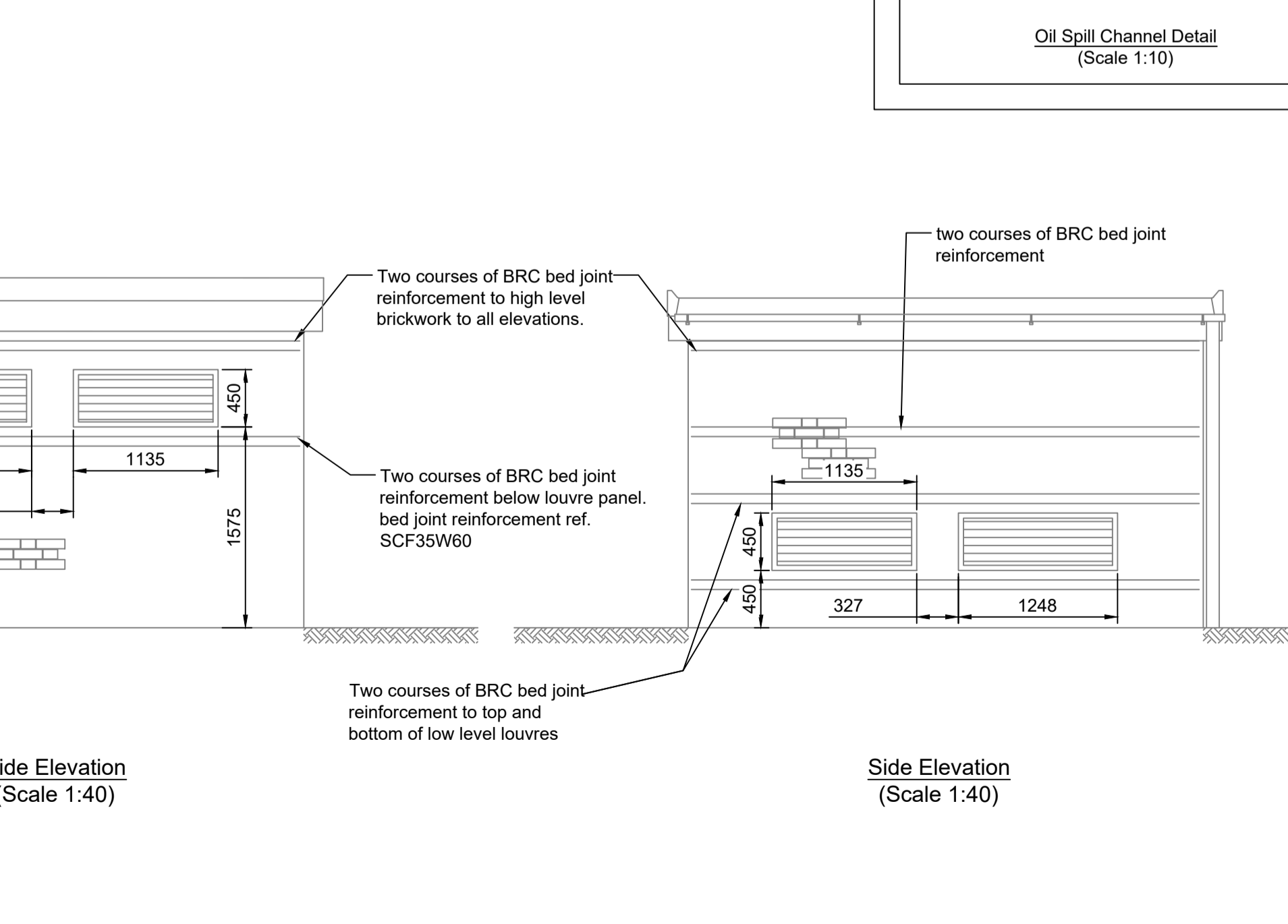
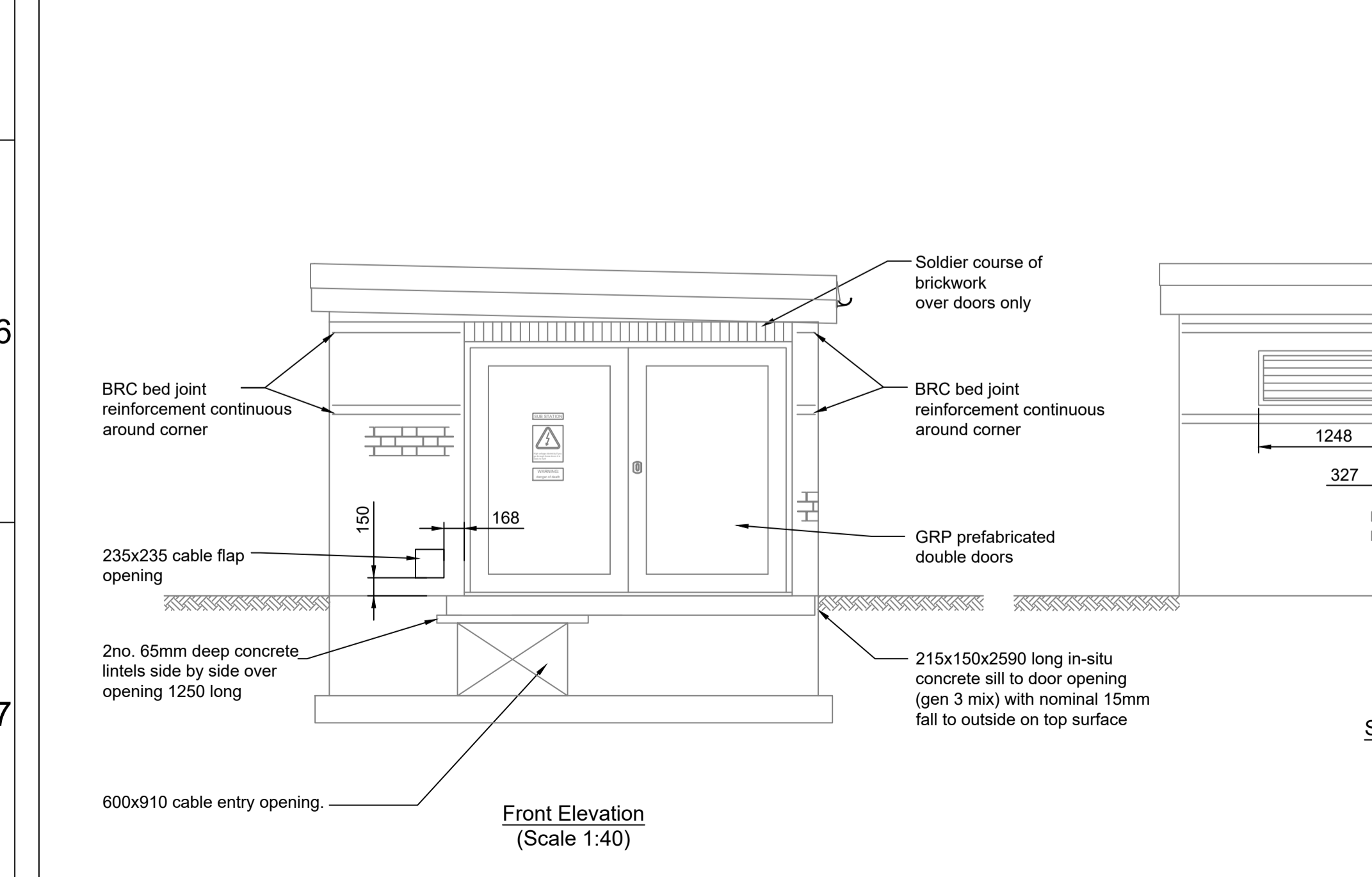
- Doors:**
- Doors shall either be of GRP, aluminium or Steel Construction and shall open outwards. Double Doors are required with an external frame size of 2700mm wide by 2100mm high. Generally two doors are required however three door arrangement can be proposed. (One normal door and one bi-folding door)
 - Any proposed reduction in size required by planning constraints must be discussed with SSE/UKPS. Consideration will be given to the incorporation of removable panels (either louvered or plain) providing the overall opening size can be maintained.
 - It must be possible to remove and refit the frame to allow equipment to be installed or changed without affecting the fabric of the substation.
 - Double door secured internally with dual locking padlock.
 - Steel doors are to be provided by Sunray Engineering.
 - GRP, aluminium doors are to be provided by TS Designs

- Ventilation Louvres:**
- Low level ventilation is required in the side of the substation with high level ventilation in the opposite side. At least 1m² of inlet and 1m² of outlet area is required per transformer
 - Louvres shall be made of heavy duty GRP or steel and be fitted with an anti-vermin mesh on the inside.
 - Screening/vegetation which could prevent or reduce the effectiveness of the ventilation shall not be allowed to encroach within 1m of the wall of the substation.

3



5



Walls:

- Single skin fair faced brickwork to BS3291 in 1:4 mortar. Bricks to match development.

- Doors:**
- Doors shall either be of GRP, aluminium or Steel Construction and shall open outwards. Double Doors are required with an external frame size of 2700mm wide by 2100mm high. Generally two doors are required however three door arrangement can be proposed. (One normal door and one bi-folding door)
 - Any proposed reduction in size required by planning constraints must be discussed with SSE/UKPS. Consideration will be given to the incorporation of removable panels (either louvered or plain) providing the overall opening size can be maintained.
 - It must be possible to remove and refit the frame to allow equipment to be installed or changed without affecting the fabric of the substation.
 - Double door secured internally with dual locking padlock.
 - Steel doors are to be provided by Sunray Engineering.
 - GRP, aluminium doors are to be provided by TS Designs

- Ventilation Louvres:**
- Low level ventilation is required in the side of the substation with high level ventilation in the opposite side. At least 1m² of inlet and 1m² of outlet area is required per transformer
 - Louvres shall be made of heavy duty GRP or steel and be fitted with an anti-vermin mesh on the inside.
 - Screening/vegetation which could prevent or reduce the effectiveness of the ventilation shall not be allowed to encroach within 1m of the wall of the substation.

REV	AMENDMENT	DATE	BY
2	Approved for Construction	05/05/23	CA
1	Details Amended and Oil Spill Channel Added	18/04/23	JC
0	Preliminary Issue	06/03/23	OM

UKPS
UK POWER SOLUTIONS
 The Utility Connection Company

River View House, Bonds Mill Estate, Bristol Road, Stonehouse, Gloucestershire, GL10 3RF
 Ealing Cross, 2nd Floor, 85 Uxbridge Road, Ealing, London, W5 5TH
 Suite 36, Genesis Centre, Birchwood, Warrington, WA3 7BH
 ukpowersolutions.co.uk

Client	JG Francis Civil Engineering Ltd
Project	Felindre Meadows, Bridgend
Title	Construction Details - Flat Roof Substation
Design & Planning Engineer	Oghenero Mudiare
Contact No.	08452 577 105
Project Manager	TBC
Contact No.	TBC
Drawn By	OM
Checked By	PS
Date	06/03/23
Scale	NTS
Sheet No.	1/1
Original Size	A1
Drawing No.	UKP12272 - DWG100
Rev	2
Client Ref.	--
Drawing Status	Approved for Construction

A B C D E F G H I J

1

2

3

4

5

6

7